

City of Ottawa  
 MAY 14 2019  
 Office of Adjustment  
 of Assessment

This package includes the preliminary development plans to construct a 464.5 square meter (5,000 square foot) single storey F3 warehouse building at 240 Westbrook Road, Ottawa, Ontario. The proposed building will have a steel reinforced poured concrete foundation, with steel framed walls and roof systems. The following conditions apply:

**GENERAL CONDITIONS**

1. Contractor must visit the site and confirm all dimensions prior to ordering material and commencing construction.
2. Contractor must verify the location of all utilities and mechanical systems which will affect the repair work detailed. Any alterations to the design must be verified with the engineer and approved prior to commencing the work.
3. City by-laws govern the hours of work and this must be confirmed by the contractor.
4. The work must be carried out with 2005 Ontario Building Code (OBC). It is understood that the existing building may have construction which precludes this code and any concerns should be addressed to the engineer prior to commencing alterations.
5. The contractor is responsible for obtaining all permits and fees required by the regulating authority. This should be discussed with the property owner prior to commencing any works.
6. The site must be kept in a safe, clean and workmanlike manner. The excavation must be suitably fenced off and gated at all times. The contractor must adhere to all labour codes and must also be registered with the Workplace Safety and Insurance Board. Safe access to the home must be provided at all times.

**MATERIALS**

1. All concrete and mortar to be 3,000 psi strength or better. All concrete work to be undertaken at temperatures above 5C unless approved by the engineer.
2. All structural lumber to be S-P-F #2 or better unless otherwise specified.
3. All girds for structural attachment to be 3.25 galvanized steel unless otherwise specified.
4. Any other materials are as specified or as per OBC.

**PLANS**

- The project includes 9 plans:
- 0 - General Conditions
  - 1 - Site Plan
  - 2 - Existing Site Plan
  - 3 - Proposed Site Plan Central
  - 4 - Proposed Grading Plan
  - 5 - Proposed South Elevation
  - 6 - Proposed West Elevation
  - 7 - Proposed North Elevation
  - 8 - Proposed East Elevation
  - 9 - Proposed Floor Plan



Item#	Ontario Building Code Matrix Part 9	OBC Reference					
0	Property Zoning: RG4						
1	Project Description: New Construction	Part 9					
2	Major Occupancy: F3	3.2.2.78					
3	Building Area (sqm): Existing: 0 New: 464.5 Total: 464.5	1.4.1.2 (A)					
4	Gross Area (sqm): Lot: 1,661 Bldg: 464.5 % Coverage: 28%	1.4.1.2 (A)					
5	Number of Storeys: Above Grade: 1 Below Grade: 0	1.4.1.2 (A) & 3.2.1.1					
6	Height of Building (m): 7.8	3.2.2.10 & 3.2.5					
7	Number of Streets/Access Routes: 1	3.2.2.78					
8	Sprinkler System Proposed: Not Required	3.2.9					
9	Standpipe Required: No	3.2.4.1					
10	Fire Alarm Required: No	3.2.5.7					
11	Water Services/Supply is Adequate: Adequate water supply for firefighting is located on the site. 20,000 Gallons of underground water storage (90,922 L).	3.2.6					
12	High Building: No	3.2.2.78					
13	Permitted Construction: Non-combustible (East wall) or both	3.1.17					
14	Actual Construction: Non-combustible	3.8					
15	Occupant load base on square meters/person 1 <sup>st</sup> Floor Load: 17 Persons	3.3.1.2					
16	Barrier-free Design: No	3.2.2.78					
17	Hazardous Substances: No						
18	Required Fire Resistance Rating (FRR) Horizontal Assembly FRR (Hours): N/A FRR of Supporting Members: N/A	9.10.14					
18	Spatial Separation - Construction of Exterior Walls						
	Area (sq.m)	L/D (m)	L/H	% of unprotected openings (%)	Proposed % of unprotected openings (%)	FRR (hours)	Proposed Construction
	North 113.8	18.5	1.96	100	100	1 Hour	non-comb.
	South 113.8	6.5	1.96	21.25	4	1 Hour	non-comb.
	East 209	1.2	4.44	7	<1	1 Hour	non-comb.
	West 227.6	13.4	4.08	67.95	67	45 Min	non-comb.

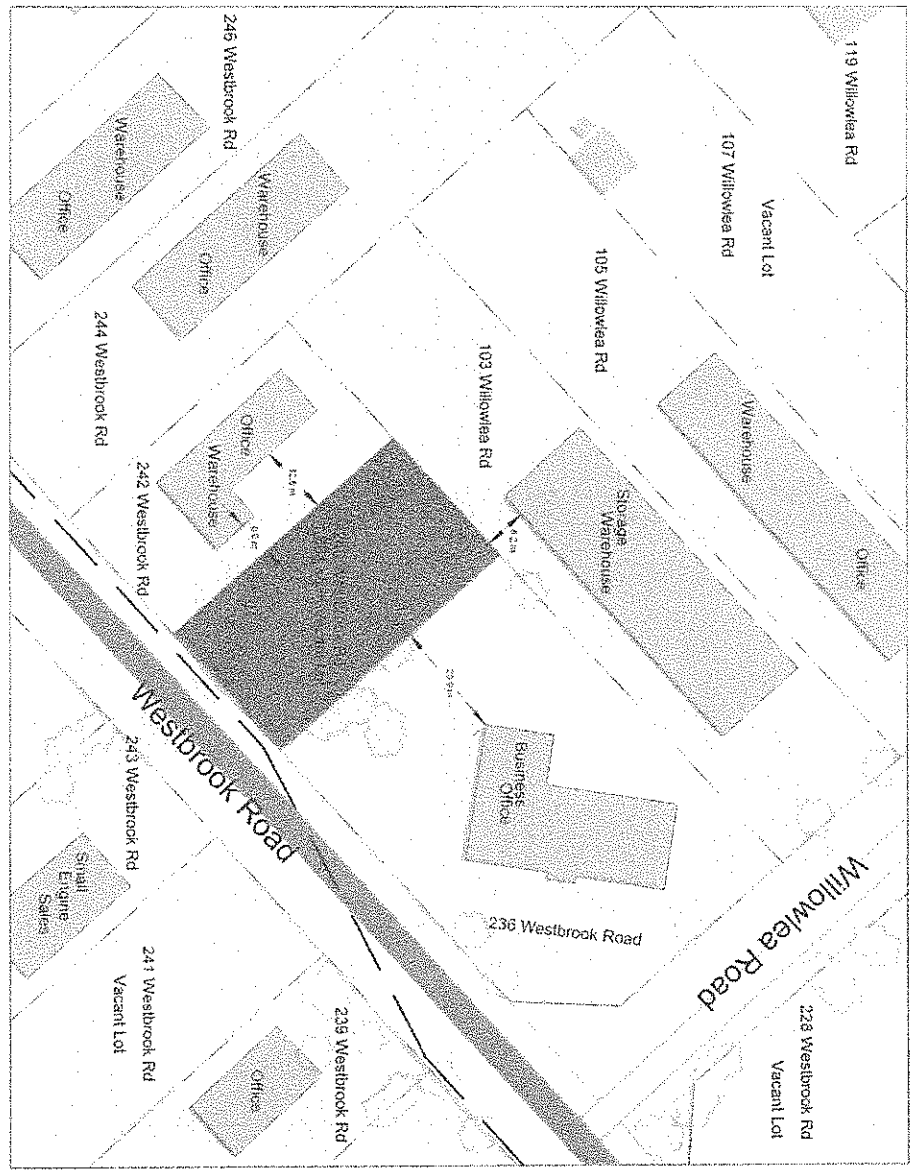
**General Conditions**

1. The contractor is responsible for checking and verifying all information including but not limited to dimensions, setbacks, elevations, easement, utility locations, and details. Discrepancies to be reported to the engineer.
2. All work and materials to be in compliance with all municipal, provincial and local codes, regulations and by-laws and in accordance with industry best practices.

Oaktree Engineering Ltd.  
 Property Inspection Network  
 6644 Bronson Avenue  
 Ottawa, On K1S 4E9  
 Tel: (613) 234 - 3000  
 www.propertyinspection.ca

**Title:** General Conditions  
**Address:** 240 Westbrook Road  
**File No:** Dwg No. 1  
**Scale:** Date: 01/29/2019  
**Drawn By:** Patrick Esquivel  
**Reviewed By:** Paul Bottrell





- Legend:**
- Property Lines
  - Building Envelope
  - Overhead Wires
  - Subject Site
  - 2 - 10,000 Gal Water Storage Tanks (Underground)



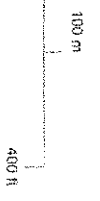
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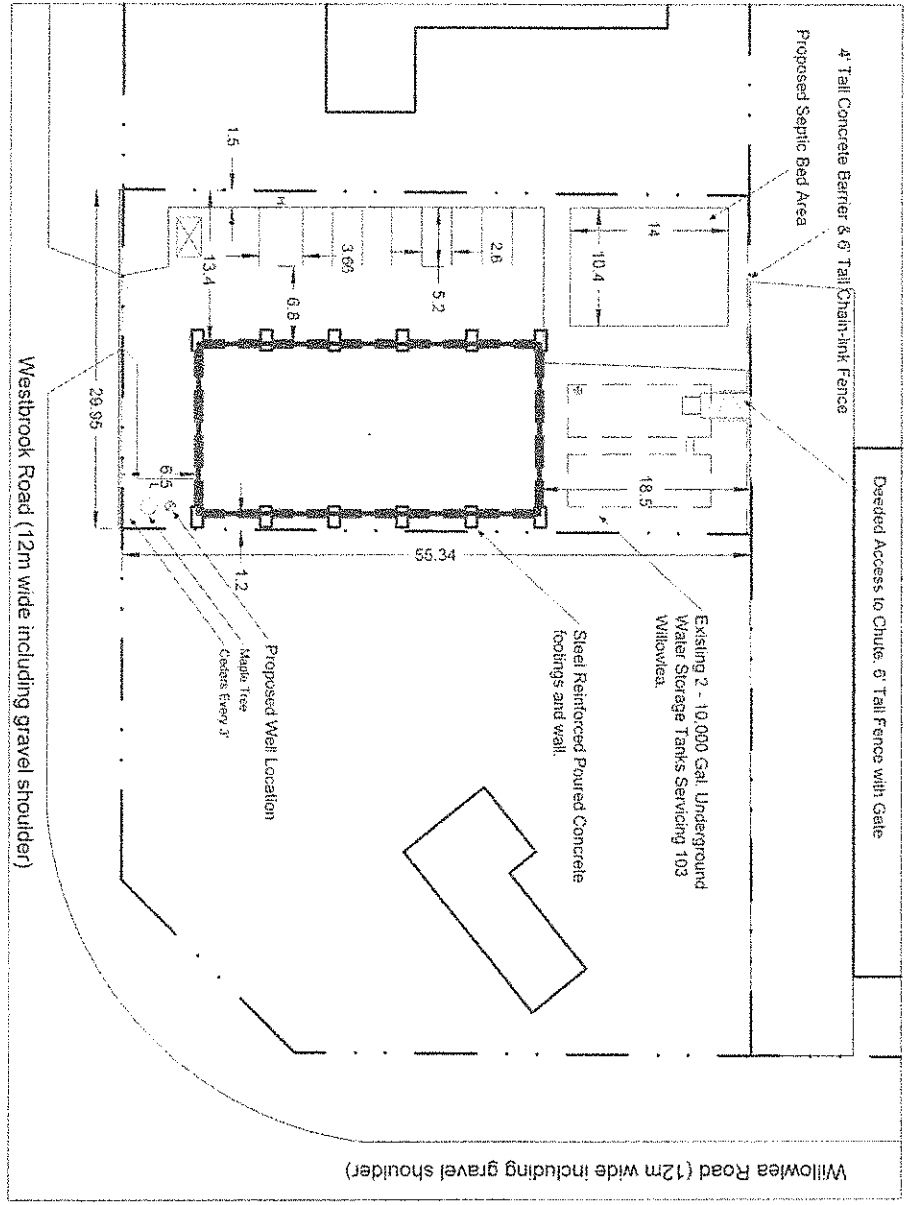
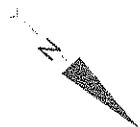
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**Title**  
 Existing Site Plan  
**Address:**  
 240 Westbrook Road  
**File No.** \_\_\_\_\_ **Dwg No.** 1  
**Scale:** \_\_\_\_\_ **Date:** 01/28/2019  
**Drawn By:** Patrick Eggart  
**Revised By:** Phil Bottrill







- Legend:**
- 4' Tall Concrete Barrier
  - 6' Tall Chain-link Fence
  - Proposed Sepsis Bed Area
  - Existing 10,000 Gal. Undergound Water Storage Tanks
  - Steel Reinforced Poured Concrete Footings and Wall
  - Proposed Well Location
  - Main Tree
  - Cedars Tree/J
  - Decided Access to Chute, 6' Tall Fence with Gate
  - Willowlea Road (12m wide including gravel shoulder)
  - Westbrook Road (12m wide including gravel shoulder)



**General Conditions**

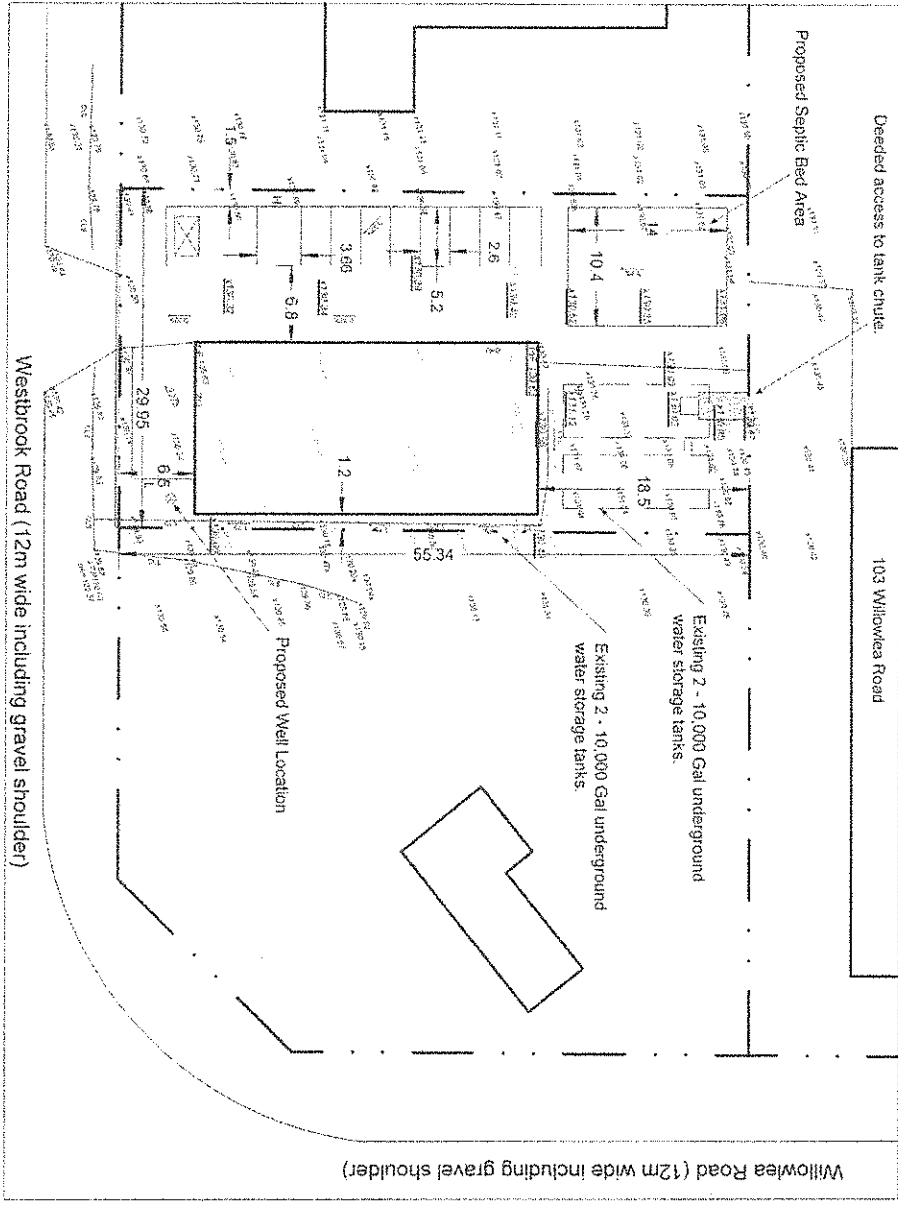
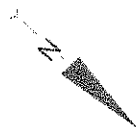
1. The contractor is responsible for checking and verifying all information including but not limited to elevations, setbacks, eave/heights, utility locations, and details. Discrepancies to be reported to the engineer.
2. All work and materials to be in compliance with all municipal, provincial and local codes, regulations and by-laws and in accordance with industry best practices.

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**Title:** Site Plan Control - Proposed  
**Address:** 240 Westbrook Road  
**File No:** Divg No. 3  
**Scale:** Date: 01/29/2019  
**Drawn By:** Patrick Baggott  
**Reviewed By:** Phil BoitHELL



\* All dimensions in meters



All Dimensions in meters  
All Elevations Geoidetic

- General Conditions**
1. The contractor is responsible for checking and verifying all information including but not limited to: dimensions, setbacks, elevations, easement, utility locations, and details. Discrepancies to be reported to the engineer.
  2. All work and materials to be in compliance with all municipal, provincial and local codes, regulations and by laws and in accordance with industry best practices.

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<b>Title:</b> Proposed Grading Plan	
<b>Address:</b> 240 Westbrook Road	
<b>File No.:</b> 240 Westbrook Road	
<b>Dwg No.:</b> 4	
<b>Scale:</b>	
<b>Drawn By:</b> Patrick Baggott	
<b>Revised By:</b> Phil Bottrell	

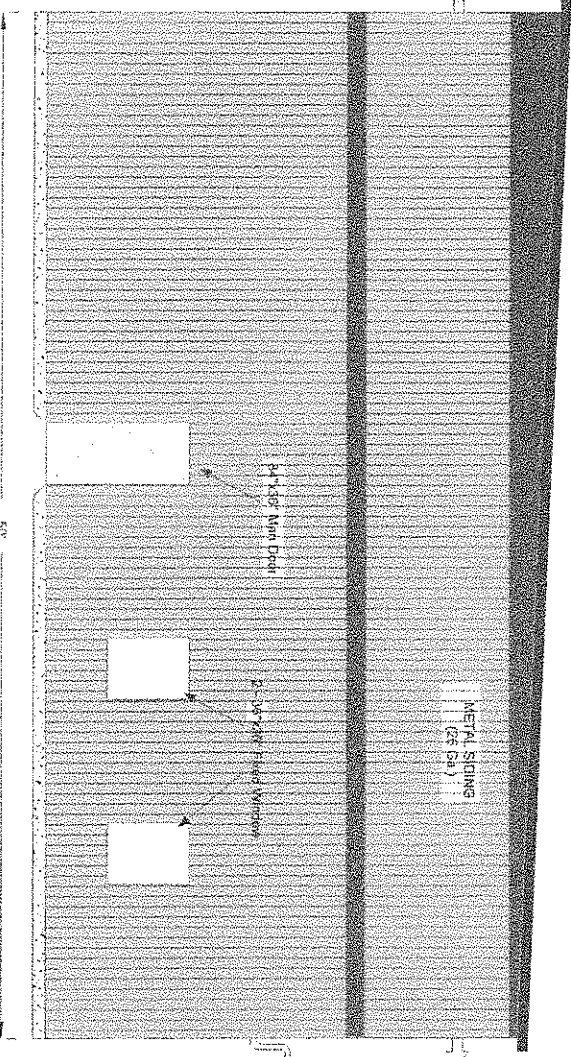


- Legend:**
- 1. Proposed Grading
  - 2. Existing Grading
  - 3. Proposed Septic Bed
  - 4. Existing Septic Bed
  - 5. Proposed Well Location
  - 6. Existing Well Location
  - 7. Proposed Water Storage Tanks
  - 8. Existing Water Storage Tanks
  - 9. Proposed Access
  - 10. Existing Access
  - 11. Proposed Easement
  - 12. Existing Easement
  - 13. Proposed Boundary
  - 14. Existing Boundary
  - 15. Proposed Property Line
  - 16. Existing Property Line
  - 17. Proposed Road
  - 18. Existing Road
  - 19. Proposed Gravel Shoulder
  - 20. Existing Gravel Shoulder



6" Eaves with drip edge

24'-7"



22'-7"

4" ABS plumbing vent stack with 180 degree screened trap

Finished Grade



### Proposed South Elevation

**General Conditions**

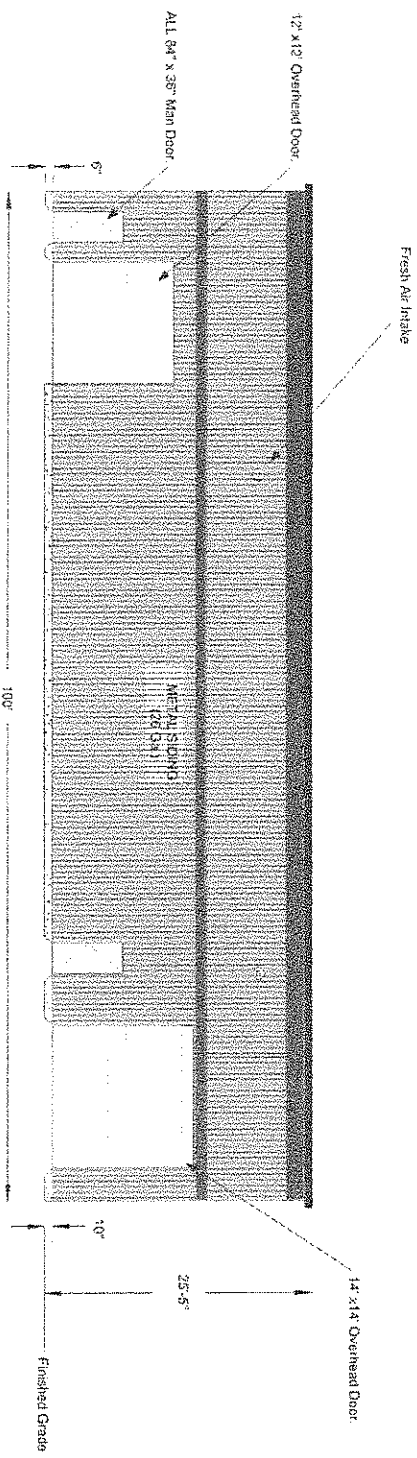
1. The contractor is responsible for checking and verifying all information including but not limited to dimensions, setbacks, elevations, easement, utility locations, and details. Discrepancies to be reported to the engineer.

2. All work and materials to be in compliance with all municipal, provincial and local codes, regulations and by-laws, and in accordance with industry best practices.

**Daktes Engineering Ltd.**  
 Property Inspection Network  
 694A Bronson Avenue  
 Ottawa, On, K1S 4E9  
 Tel: (613) 234-3000  
 www.propertyinspection.ca

Title: Proposed South Elevation  
 Address: 240 Westbrock Road  
 File No: \_\_\_\_\_ Draw No: 5  
 Scale: \_\_\_\_\_ Date: 01/29/2019  
 Drawn By: Patrick Daigold  
 Revised By: Phil Bodinell





**Proposed West Elevation**

**General Conditions**

1. The contractor is responsible for checking and verifying all information including but not limited to dimensions, setbacks, elevations, easement, utility locations, and details. Discrepancies to be reported to the engineer.

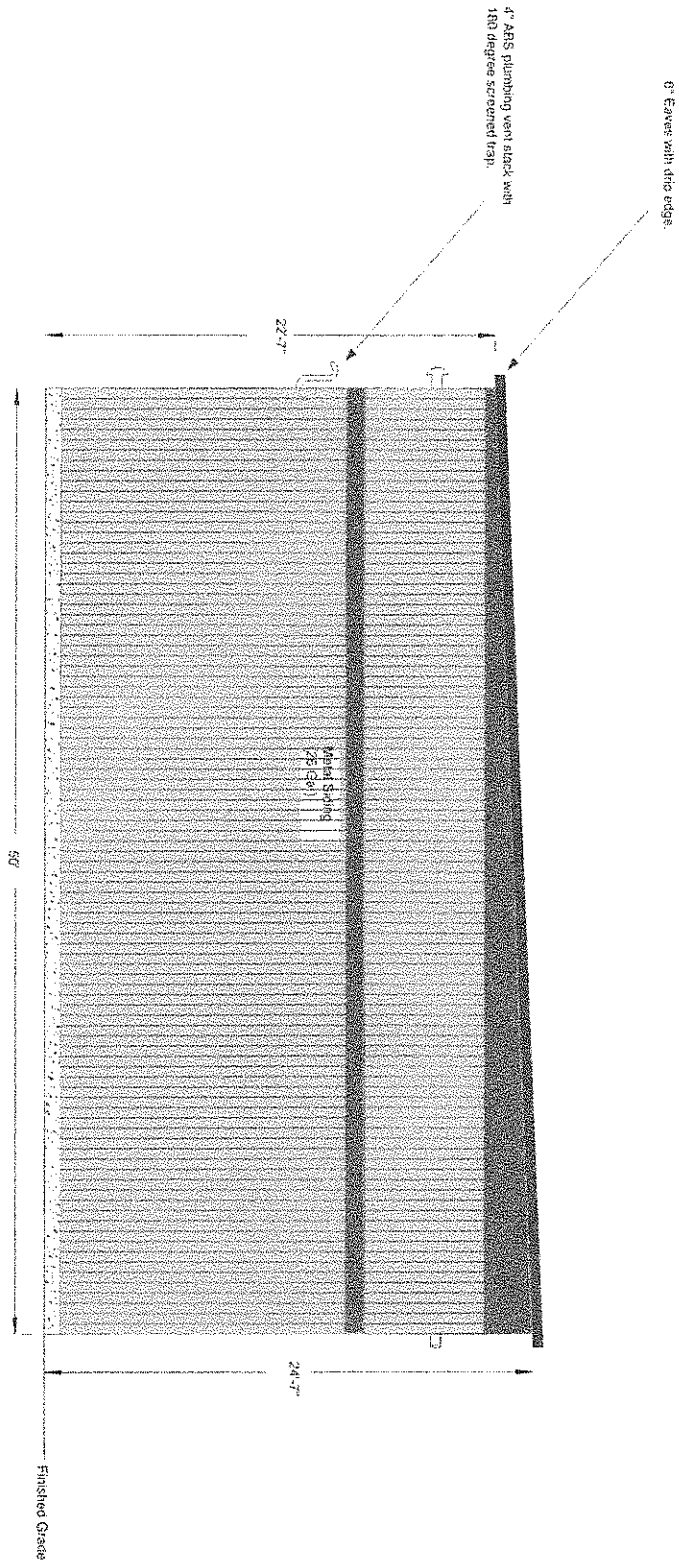
2. All work and materials to be in compliance with all municipal, regional and local codes, regulations and by-laws and in accordance with industry best practices.

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 Ottawa, On K1S 4E9  
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<b>Title</b>	Proposed West Elevation
<b>Address:</b>	240 Westbrock Road
<b>File No.</b>	Dwg No. 6
<b>Scale</b>	Date: 01/29/2019
<b>Drawn By:</b>	Patrick Baigoch
<b>Revised By:</b>	Phil Bottrell



Proposed North Elevation



**General Conditions**

1. The contractor is responsible for checking and verifying all information including but not limited to measurements, setbacks, elevations, easement, utility locations, and details. Discrepancies to be reported to the engineer.

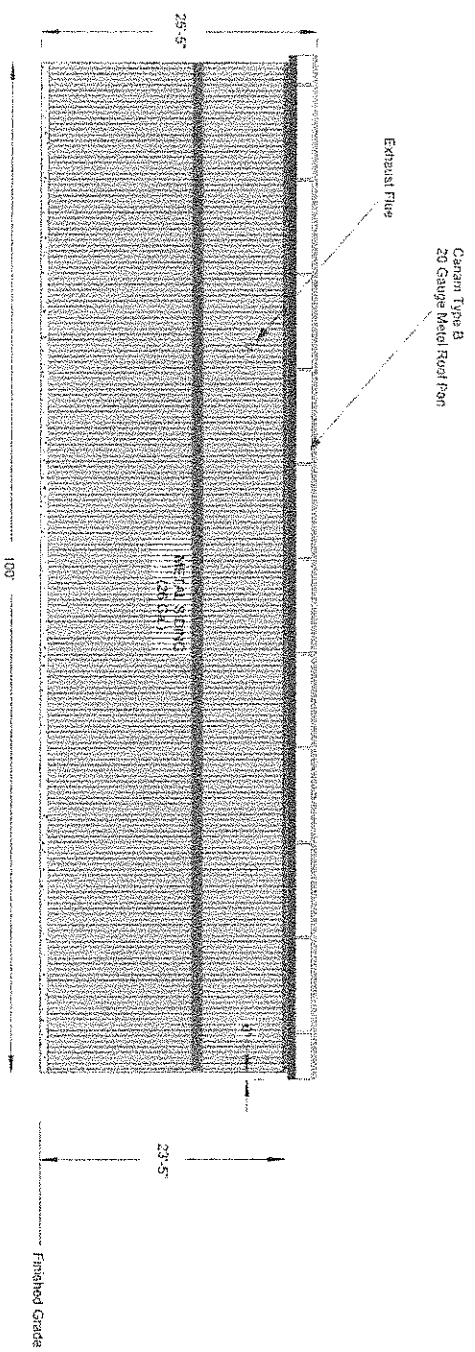
2. All work and materials to be in compliance with all applicable codes, regulations and by-laws and in accordance with industry best practices.

**Oaktree Engineering Ltd.**  
 Property Inspection Network  
 8344 Bronson Avenue  
 Chelva, On K1S 4E9  
 Tel: (613) 234 - 3009  
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Title: Proposed North Elevation  
 Address: 240 Washbrook Road  
 File No: \_\_\_\_\_ Draw No: 7  
 Scale: \_\_\_\_\_ Date: 01/28/2019  
 Drawn By: Patrick Enggott  
 Revised By: Phil Balthazal







**Proposed East Elevation**

**General Conditions**

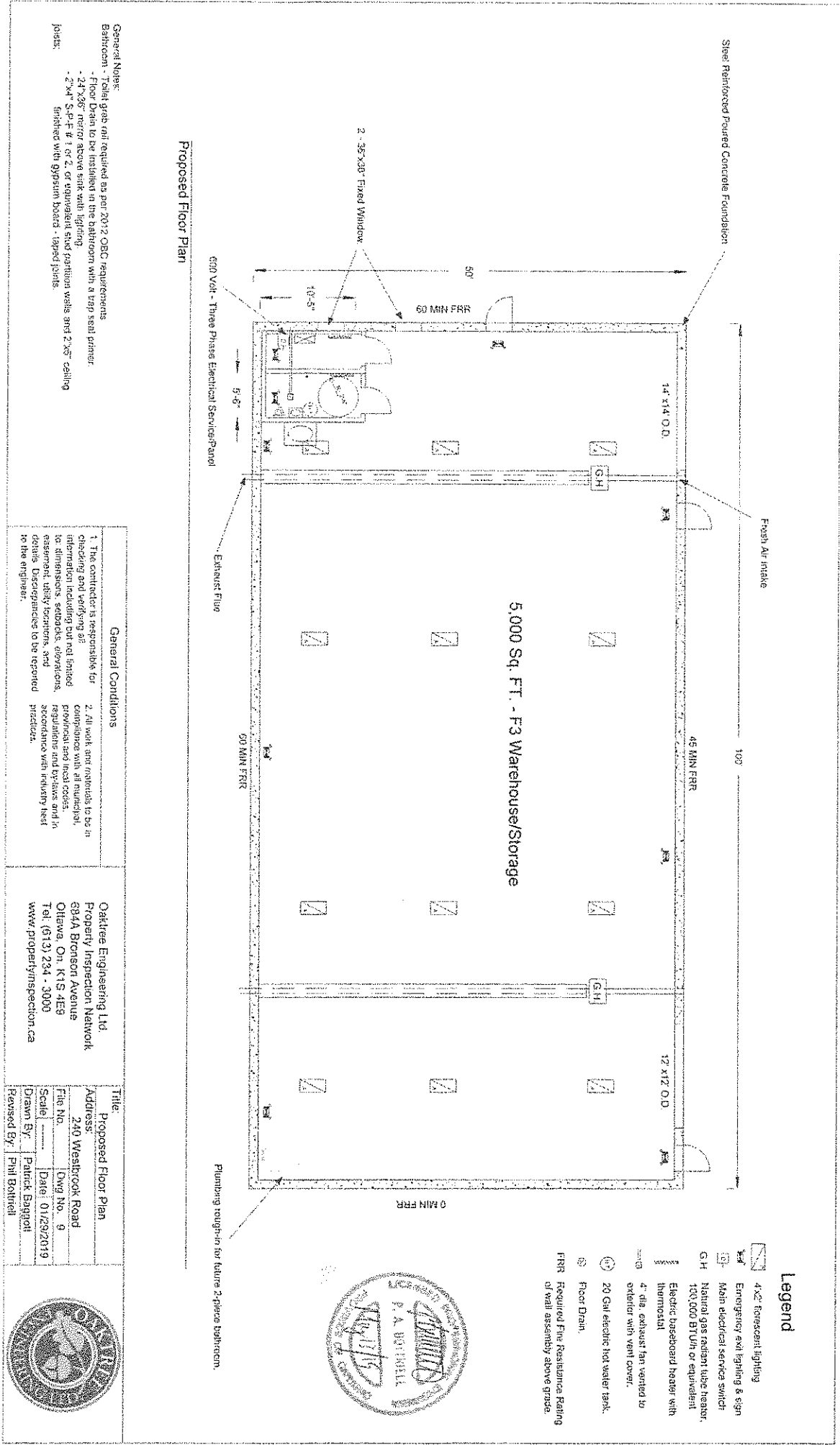
1. The contractor is responsible for checking and verifying all information including but not limited to dimensions, setbacks, elevations, assessment, utility locations, and details. Discrepancies to be reported to the engineer.

2. All work and materials to be in compliance with all municipal, provincial and local codes, regulations and by-laws and in accordance with industry best practices.

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 Ottawa, On K1S 4E9  
 Tel: (613) 234 - 3800  
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**Title:** Proposed East Elevation  
**Address:** 240 Westbrock Road  
**File No.:** [blank] **Dwg No.:** 8  
**Scale:** [blank] **Date:** 01/29/2019  
**Drawn By:** Patrick Baggott  
**Revised By:** Phil Botherell





**General Notes:**

Bathroom - Toilet grab rail required as per 2012 CBC requirements

Floor Drain to be installed in the bathroom with a trap seal primer.

- 24" x 36" mirror above sink with lighting.
- 2" x 4" S-P-F # 1 or 2, or equivalent stud partition walls and 2" x 6" ceiling joists, finished with gypsum board - taped joints.

**General Conditions**

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Title:	Proposed Floor Plan
Address:	240 Westrock Road
File No.:	Dwg No. 9
Scale:	Date: 01/29/2019
Drawn By:	Patrick Baggott
Revised By:	Phil Balthiel



**Legend**

- 4x4 fluorescent lighting
- Emergency exit lighting & sign
- Main electrical service switch
- Natural gas radiant tube heater, 120,000 BTU/hr or equivalent
- Electric baseboard heater with thermostat
- 4" dia. exhaust fan vented to exterior with vent cover.
- 20 Gall electric hot water tank.
- Floor Drain
- Required Fire Resistance Rating of wall assembly above grade.