

<p>3. ZONING BY-LAW AMENDMENT – 6909 NOTRE-DAME STREET</p> <p>MODIFICATION AU RÈGLEMENT DE ZONAGE – 6909, RUE NOTRE-DAME</p>
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COMMITTEE RECOMMENDATION

That Council approve an amendment to Zoning By-law 2008-250 for 6909 Notre-Dame Street to permit a semi detached dwelling, as detailed in Document 4.

RECOMMANDATION DU COMITÉ

Que le Conseil approuve une modification au Règlement de zonage 2008-250 visant le 6909, rue Notre-Dame, afin de permettre une habitation jumelée, comme il est expliqué dans le document 4.

DOCUMENTATION/DOCUMENTATION

1. Director's report, Planning Services, Planning, Infrastructure and Economic Development Department, dated 18 August 2017 (ACS2017-PIE-PS-0002)

Rapport de la Directrice, Services de la planification, Direction générale de la planification, de l'infrastructure et du développement économique, daté le 18 août (ACS2017-PIE-PS-0002)
2. Extract of draft Minutes, Planning Committee, 12 September 2017

Extrait de l'ébauche du procès-verbal, Comité de l'urbanisme, le 12 septembre 2017
3. Summary of Written and Oral Submissions to be issued separately with the Council agenda for its meeting of 11 October 2017, as part of the Summary of Oral and Written Public Submissions for Items Subject to Bill 73 'Explanation Requirements'

Résumé des observations écrites et orales à distribuer séparément avec l'ordre du jour de la réunion du 11 octobre 2017 du Conseil, comme faisant partie du Résumé des observations orales et écrites du public sur les questions assujetties aux « exigences d'explication » aux termes de la Loi 73.

**Report to
Rapport au:**

**Planning Committee / Comité de l'urbanisme
September 12, 2017 / 12 septembre 2017**

**and Council / et au Conseil
September 27, 2017 / 27 septembre 2017**

**Submitted on August 18, 2017
Soumis le 18 août 2017**

**Submitted by
Soumis par:
Lee Ann Snedden,
Director / Directrice,
Planning Services / Service de la planification
Planning, Infrastructure and Economic Development Department / Direction
générale de la planification, de l'infrastructure et du développement économique**

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Ward: INNES (2)

File Number: ACS2017-PIE-PS-0002

SUBJECT: Zoning By-law Amendment – 6909 Notre-Dame Street

OBJET: Modification au Règlement de zonage – 6909, rue Notre-Dame

REPORT RECOMMENDATIONS

- 1. That Planning Committee recommend Council approve an amendment to Zoning By-law 2008-250 for 6909 Notre-Dame Street to permit a semi-detached dwelling, as detailed in Document 4.**
- 2. That Planning Committee approve the Consultation Details Section of this report be included as part of the 'brief explanation' in the Summary of**

Written and Oral Public Submissions, to be prepared by the City Clerk and Solicitor's Office and submitted to Council in the report titled, "Summary of Oral and Written Public Submissions for Items Subject to Bill 73 'Explanation Requirements' at the City Council Meeting of 27 September 2017" subject to submissions received between the publication of this report and the time of Council's decision.

RECOMMANDATIONS DU RAPPORT

1. Que le Comité de l'urbanisme recommande au Conseil d'approuver une modification au Règlement de zonage 2008-250 visant le 6909, rue Notre-Dame, afin de permettre une habitation jumelée, comme il est expliqué dans le document 4.
2. Que le Comité de l'urbanisme donne son approbation à ce que la section du présent rapport consacrée aux détails de la consultation soit incluse en tant que « brève explication » dans le résumé des observations écrites et orales du public, qui sera rédigé par le Bureau du greffier municipal et de l'avocat général et soumis au Conseil dans le rapport intitulé « Résumé des observations orales et écrites du public sur les questions assujetties aux 'exigences d'explication' aux termes du projet de loi 73 », à la réunion du Conseil municipal prévue le 27 septembre 2017, à la condition que les observations aient été reçues entre le moment de la publication du présent rapport et le moment de la décision du Conseil.

BACKGROUND

Learn more about [link to Development Application process - Zoning Amendment](#)

For all the supporting documents related to this application visit the [link to Development Application Search Tool](#).

Site location

6909 Notre-Dame Street

Owner

Denis and Rachel Lacroix

Applicant

Dennis Jacobs

Description of site and surroundings

As shown on the Location Map attached as Document 1, the property is located on the north side of Notre-Dame Street, between Orleans Boulevard and St-Jean Street, with an associated frontage on Notre-Dame of 60.56 metres and an area of approximately 3,557 square metres. Currently, the property is occupied by a detached dwelling and associated accessory buildings. Development on the lot is primarily located within the front half of the property as the rear of the site is heavily vegetated. Surrounding land uses include a mix of low rise residential dwellings, including single detached and semi-detached dwellings, to the east, west, and south, with a mix of commercial uses located to the north along St. Joseph Boulevard.

Summary of requested Zoning By-law amendment proposal

The purpose of this application is to rezone the lands in order to permit the development of a semi-detached dwelling within the western side yard of the property. Pursuant to Zoning By-law 2008-250, the site is currently zoned Residential First Density Subzone W, permitting detached dwellings, and the proposed zoning is Residential Second Density Subzone N which permits semi-detached dwellings.

An application for consent is intended to be subsequently filed with the Committee of Adjustment in order to create separate parcels so as to facilitate the construction of the semi-detached dwelling.

DISCUSSION

Official Plan designation

As per Schedule B of the Official Plan (OP), the property is designated General Urban Area. This designation permits a full range of land uses and housing choices so as to meet the needs of all ages, incomes and life circumstances with the intent of facilitating the development of complete and sustainable communities. Intensification, in the form of infill or redevelopment, is supported by the City where it will complement the existing pattern and scale of development, planned function of the area and ensures the long-term vitality of existing communities.

Further to the policies within Section 3.6.1., General Urban Area, the review of infill development is also done in accordance with the urban design and compatibility policies of Section 2.5.1 and 4.11. Section 2.5.1 details design objectives and principles including the defining of quality public and private spaces, recognition of the evolution of built form through architectural style and innovation, consideration of adaptability and diversity by accommodating the needs of a range of people of different incomes and lifestyles at various stages in the life cycle, the integration of environmentally sustainable initiatives and preservation of natural features as well as maximizing opportunities for alternative transportation modes such as walking, cycling, and transit. Section 4.11 outlines policies pertaining to measures of compatibility including building height, patterns of rear and side setbacks of adjacent properties, traffic, vehicular access, parking requirements, outdoor amenity areas and sunlight.

As per Schedule K, the property is identified as being located within an area having unstable slopes. Section 4.8.3, Unstable Soils or Bedrock, notes that steep slopes are often associated with unstable soils which can be unsafe or unsuitable for development and site alteration due to natural hazards or the risk of damage to the structures built upon such conditions. The intent of the policies contained within this section are to minimize the hazard risk from threat of injury and loss of life, property damage and distress caused by unstable soils resulting in foundation stress caused by differential settlement, or slope failure or landslide, and to facilitate safe and compatible land uses and development on sites where hazard risk has been minimized. The mitigating measures to address these policies and ensure the safety of this property are detailed below.

Other applicable policies and guidelines

Urban Design Guidelines for Low-rise Infill Housing

Approved by Council in May 2012, the Urban Design Guidelines for Low-rise Infill Housing are intended to act as a framework for the physical layout, massing, functioning and relationships of infill buildings to their neighbours. The guidelines highlight those attributes that collectively work toward achieving quality design within infill development and include streetscapes, landscaping, building design, parking and garages, heritage, and servicing elements. As a means to maximize the use of lands already serviced, accessible and close to existing amenities, the City's OP directs growth to established areas and these guidelines are intended to assist in achieving quality development at higher densities.

Planning rationale

The proposed development is consistent with the policies outlined within the General Urban Area designation and the concept plan and streetscape elevation submitted and attached as Documents 2 and 3 illustrate a development/built form that responds to the design and compatibility objectives detailed within Section 2.5.1 and 4.11 of the OP, introducing a development that fits well within its physical context and works well with the existing and planned function for the area. Semi-detached dwellings are contemplated within the General Urban Area designation given that they are an appropriate scale of intensification and maintain a low-rise built form within the existing context which is comprised of both single and semi-detached dwellings. The lands are located within an established residential area, on full municipal services, and in close proximity to St. Joseph Boulevard which provides convenient access to both a variety of commercial uses as well as transit.

The principal zoning proposed, being Residential Second Density Subzone N (R2N), is currently applicable to a number of properties along Notre-Dame Street. In relation to the property, the R2N zone is applicable to lands on the south side of Notre-Dame Street at Leblanc Drive, being approximately in line with the eastern property line of the lands, and extending eastward to the end of Notre-Dame Street. In addition to the proposed zoning being reflective of that applicable within the surrounding neighbourhood, there are existing semi-detached dwellings within the R1W zone along the northern part of Notre-Dame Street to the east and west of the site as well as along St-Jean Street, approximately 115 metres to the east.

Further, in recognition of the unstable slope identified for the lands, a geotechnical investigation and slope stability analysis were undertaken and submitted in support of the requested amendment. The findings of the slope stability analysis indicate that the slope in its current state, being located in the northwestern portion of the property and leveling to the east, will be stable and safe. Nonetheless, to ensure the long term stability of the slope, a setback of six metres from the top of slope has been recommended with no construction to be undertaken within this setback. In order to implement the recommendations of the slope stability analysis, an exception and schedule have been proposed to be included within the implementing zoning, as detailed within Documents 4 and 5, which would prohibit new development within the six metre setback.

Provincial Policy Statement

Staff have reviewed this proposal and have determined that it is consistent with the Provincial Policy Statement, 2014.

RURAL IMPLICATIONS

There are no rural implications associated with this report.

CONSULTATION

Notification and public consultation was undertaken in accordance with the Public Notification and Public Consultation Policy approved by City Council for Zoning By-law amendments with two comments received through that consultation process. One comment was in support of the application and one expressed concerns with respect to parking and a semi-detached dwelling being constructed on this part of Notre-Dame Street which contains single detached dwellings. Details of the response are included within Document 6 of this report.

COMMENTS BY THE WARD COUNCILLOR

The Councillor is aware of the application related to this report.

LEGAL IMPLICATIONS

There are no legal implications associated with implementing the recommendations contained within this report.

RISK MANAGEMENT IMPLICATIONS

There are no risk management implications associated with this report.

FINANCIAL IMPLICATIONS

There are no financial implications associated with this report.

ACCESSIBILITY IMPACTS

There are no direct accessibility impacts associated with this report.

TERM OF COUNCIL PRIORITIES

This proposed zoning amendment and ensuing development address the following Term of Council Priorities:

C1 – Contribute to the improvement of quality of life.

TM – Transportation and Mobility

GP – Governance, Planning and Decision-Making.

APPLICATION PROCESS TIMELINE STATUS

This application was processed by the "On Time Decision Date" established for the processing of Zoning By-law amendment applications.

SUPPORTING DOCUMENTATION

Document 1 Location Map

Document 2 Concept Plan

Document 3 Streetscape Rendering

Document 4 Details of Recommended Zoning

Document 5 Setback Schedule

Document 6 Consultation Details

CONCLUSION

The proposed Zoning By-law amendment addresses the Official Plan's directive toward more efficient use of City infrastructure, intensification through compatible design with the surrounding community character, and the provision for a range of housing choices in support of a diverse population. The department is recommending approval of the requested Zoning By-law amendment.

DISPOSITION

Legislative Services, Office of the City Clerk and Solicitor to notify the owner; applicant; Ottawa Scene Canada Signs, 1565 Chatelain Avenue, Ottawa, ON K1Z 8B5; Krista O'Brien, Tax Billing, Accounting and Policy Unit, Revenue Service, Corporate Services (Mail Code: 26-76) of City Council's decision.

Zoning and Interpretations Unit, Policy Planning Branch, Economic Development and Long Range Planning Services to prepare the implementing by-law and forward to Legal Services.

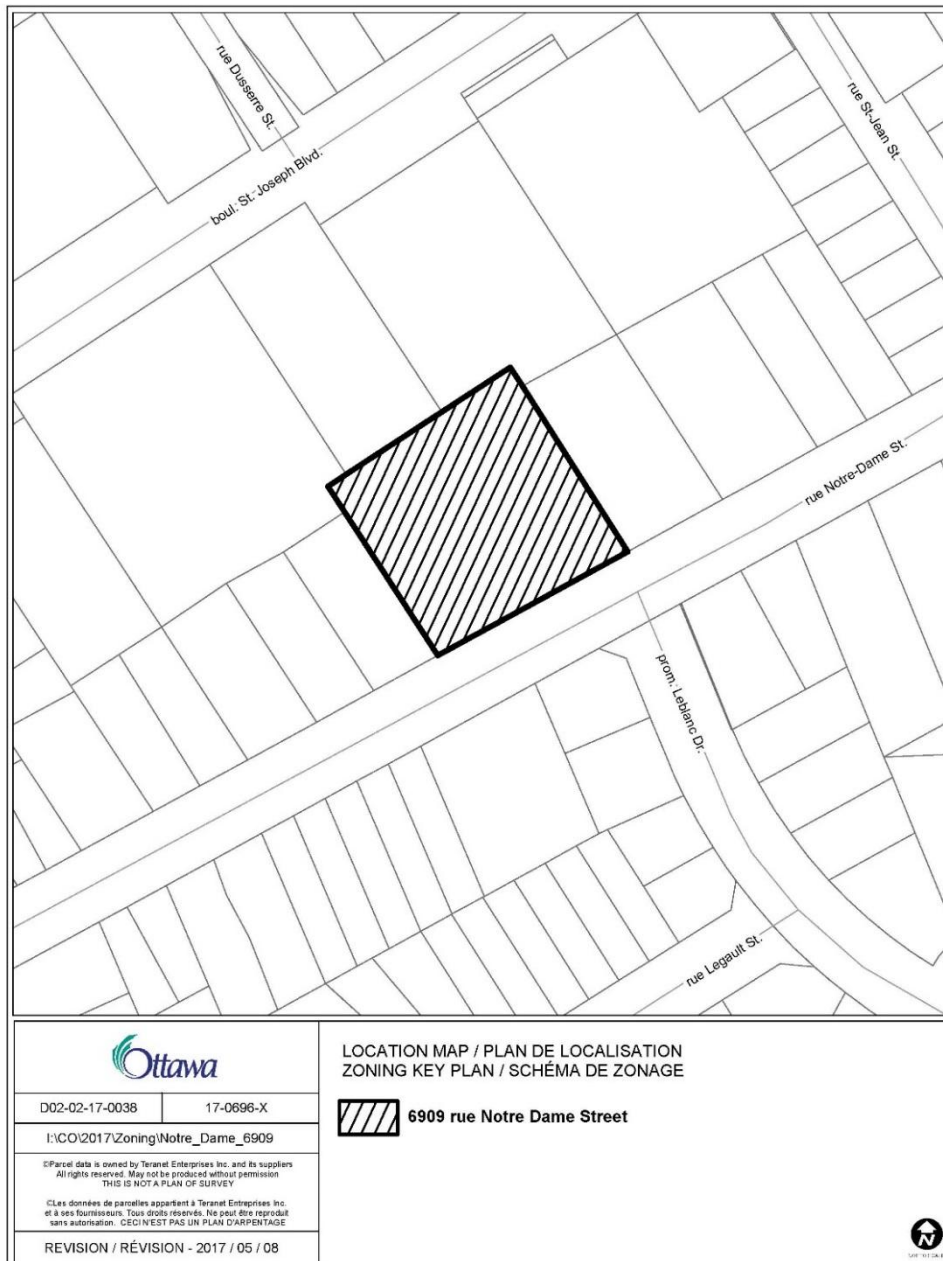
Legal Services, Office of the City Clerk and Solicitor to forward the implementing by-law to City Council.

Planning Operations Branch, Planning Services to undertake the statutory notification.

Document 1 – Location Map

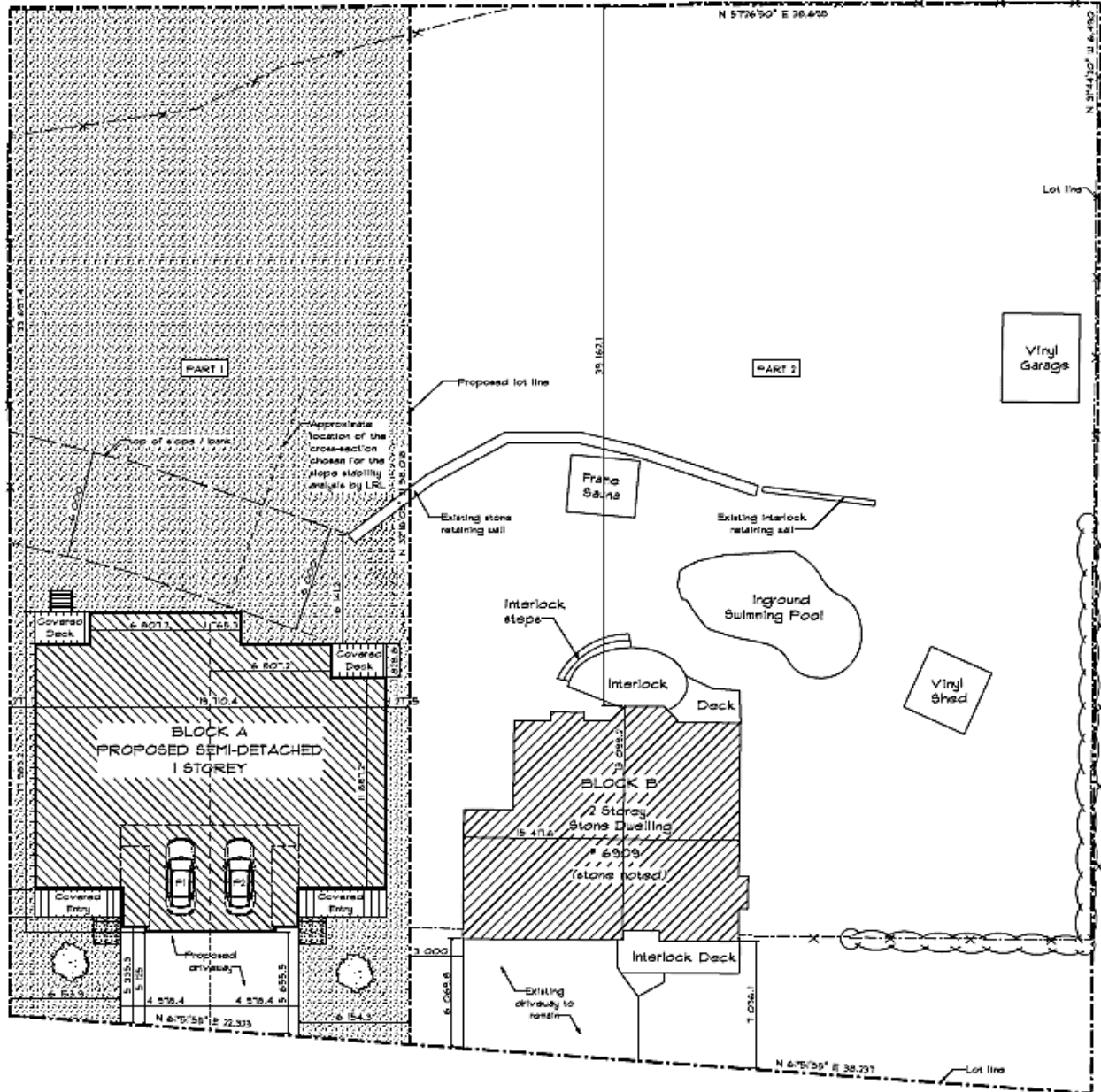
For an interactive Zoning map of Ottawa visit geoOttawa

Identified by a hatched symbol, included within the legend at the bottom of the map, the property is located on the north Side of Notre-Dame Street, west of St-Jean Street at the terminus of Leblanc Drive.



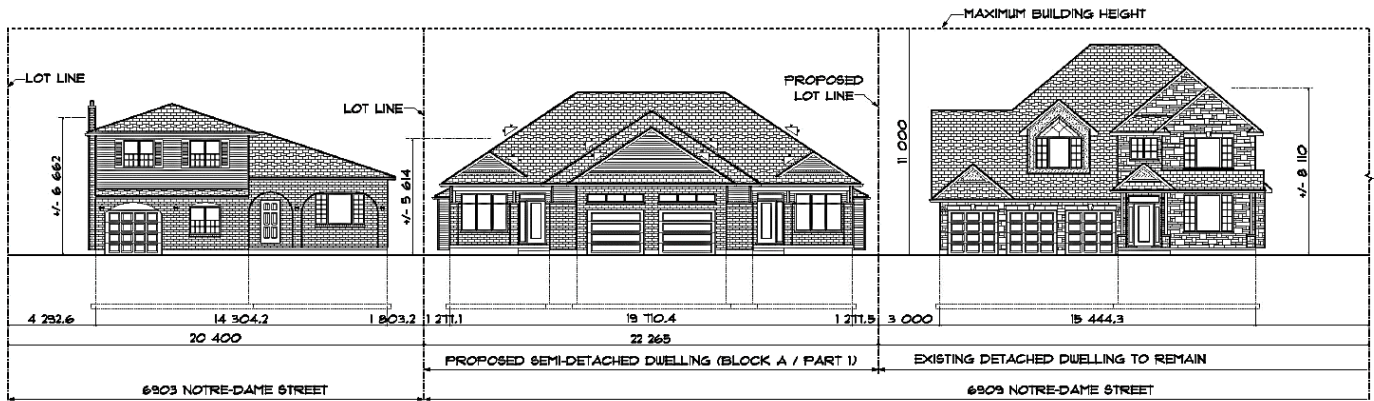
Document 2 – Concept Plans

The below concept plan shows the semi-detached dwelling proposed for the lands.



Document 3 – Streetscape Rendering

The below image shows the proposed semi-detached dwelling from a streetscape perspective.



NOTRE-DAME STREET ELEVATION

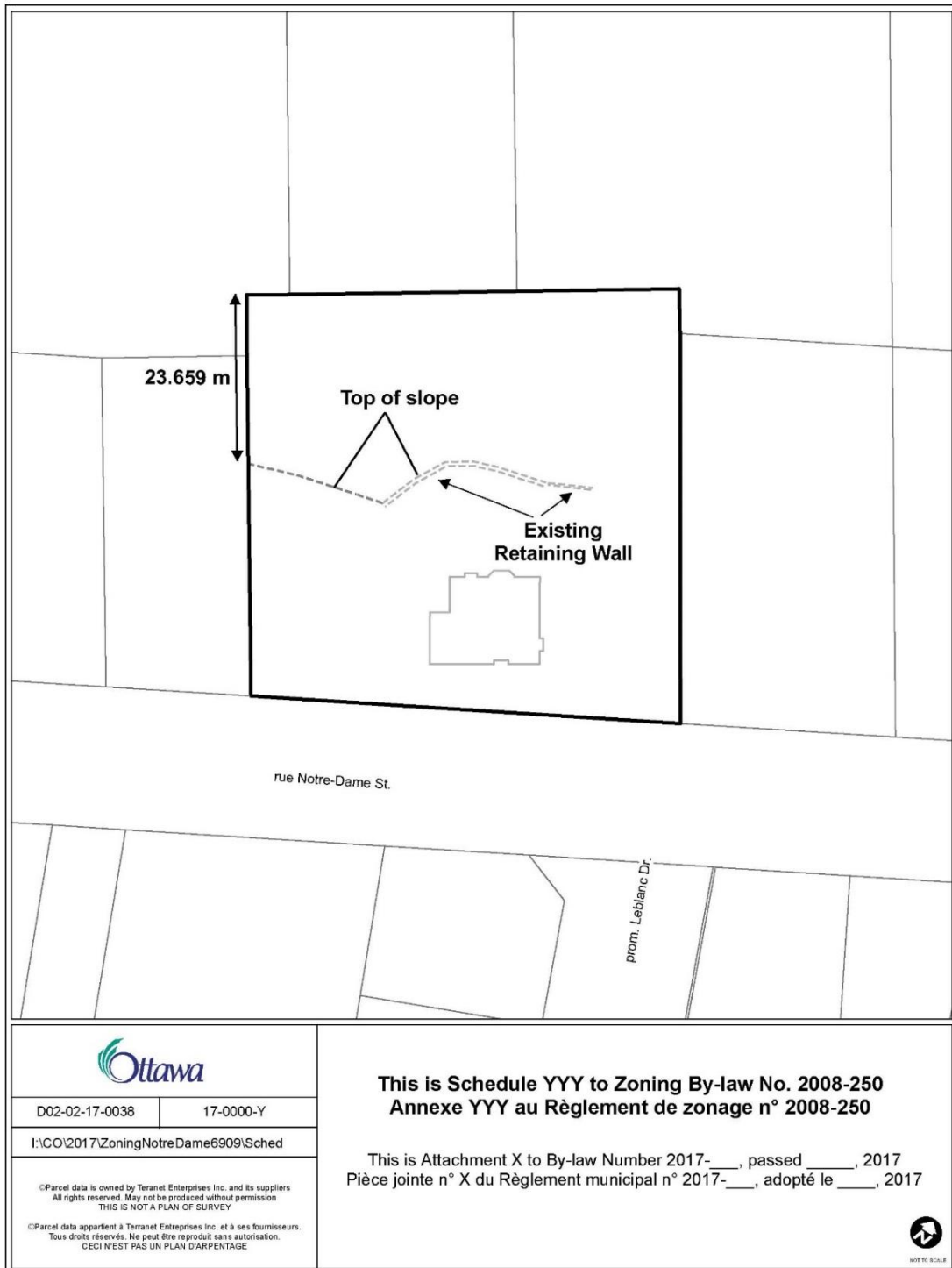
Document 4 – Details of Recommended Zoning

The proposed change to the City of Ottawa Zoning By-law No. 2008-250 for 6909 Notre-Dame Street:

1. Rezone the property, shown in Document 1, from R1W to R2N[XXXX] SYYY.
2. Add a new exception R2N[XXXX] SYYY to Section 239 – Urban Exceptions, which will include a provision similar in effect to the following:
 - a) No new development is permitted within 6 metres of the Top of Slope as shown on Schedule YYY.
3. Add Document 5 as a new Schedule to Part 17.

Document 5 – Setback Schedule

The below image shows the top of slope location for the property and is the setback schedule associated with the provisions detailed within Document 4.



Document 6 – Consultation Details

Notification and Consultation Process

Notification and public consultation was undertaken in accordance with the Public Notification and Public Consultation Policy approved by City Council for Zoning By-law amendments. At the time of writing this report, two comments were received through the consultation process. One comment was in support of the application and one expressed concerns with respect to parking and a semi-detached dwelling being constructed on this part of Notre-Dame Street which contains single detached dwellings.

Response

The concept plan provided in support of this application and attached as Document 2 demonstrates that the development of a semi-detached dwelling can be appropriately and compatibly accommodated within the interior side yard of the property and that adequate space will be provided for on-site parking. The Zoning By-law requires one space be provided per dwelling unit and the concept plans shows a single space located within the associated attached garage with additional space available for parking to be accommodated within the proposed driveway.